

The Grove at Maddington



Stage 2

LOT#	LOT SQM	FRONTAGE METERS	DESCRIPTION	ZONING	BAL RATING	PRICE
76	538	Cnr	*D Traditional Lot	R30	LOW	\$480,000

This lot has a Geotech classification of S site with a footing detail of "C2"

*A-Noise Package "A"

*B-Noise Package "B"

*C-Noise Package "C"

*D-Noise Package "D"

Titles are expected in June 2026

Prices are subject to change without notice. All areas and dimensions are subject to final survey.
Side and Rear Fencing & Front Landscaping Voucher is included.

VISIT OUR WEBSITE www.thegroveatmaddington.com.au

**For more details, please contact Dale Miles on 0419 966 547
or dale@terranovis.com.au**



THE GROVE

AT MADDINGTON



LAND RELEASE PLAN

- 19.95 Lot Height
- Steeplight
- S Sewer
- Drainage
- Retaining Wall
- NBN
- Power
- Water Connection; Deferred
- Sub-soil Drainage
- Drainage Easement

Whilst every care has been taken with the preparation of these particulars, which are believed to be correct, they are in no way warranted by the selling agent or its clients in whole or in part and should not be construed as forming part of any contract or relied upon in any way. Any intending purchasers are advised to make necessary enquiries to satisfy themselves on all matters in this respect. This disclaimer applies except in respect of those conditions, warranties and rights imposed by law which cannot be excluded or modified.

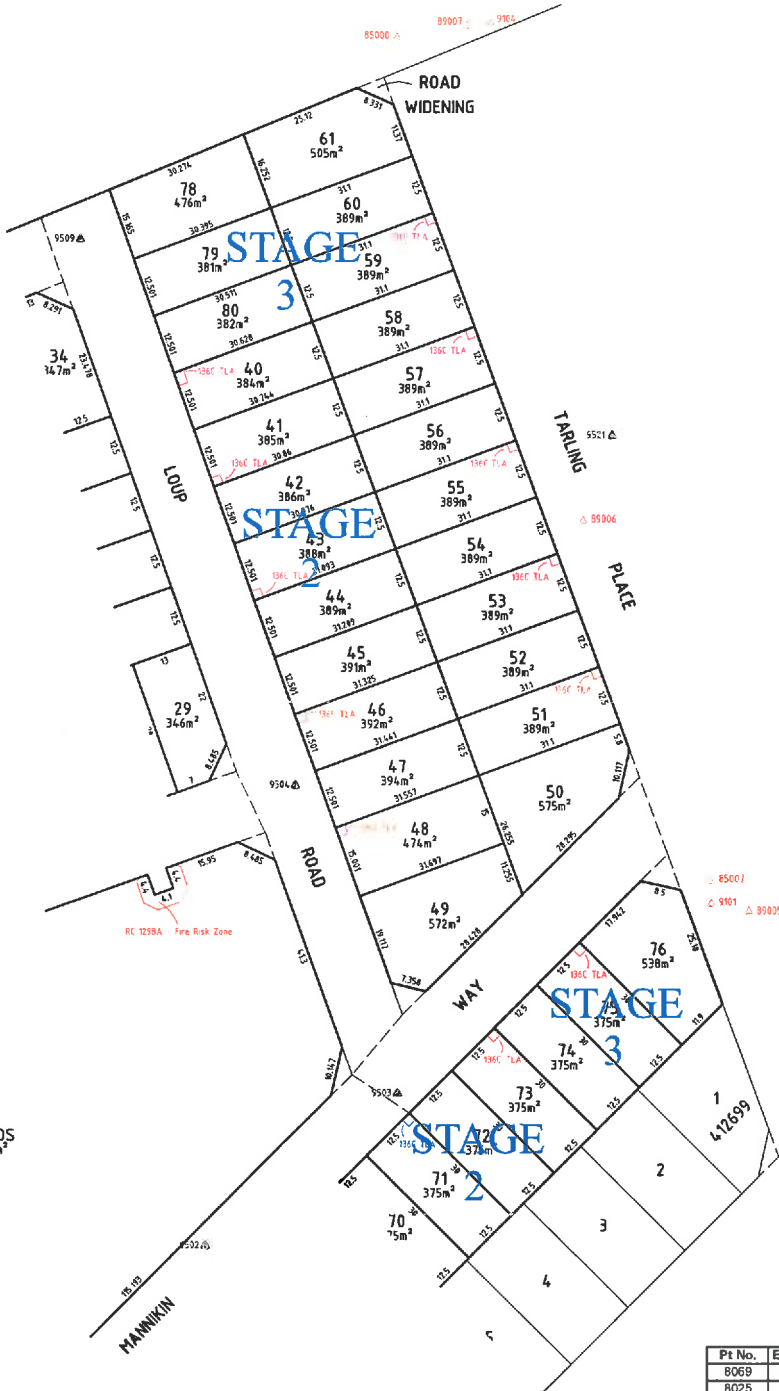
Selling Agent



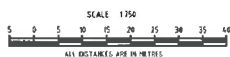
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77-POS
11345m²



Rev.	Description	Drawn	Date	App'd
02	Update Control Table And SSA control	AR	31/07/25	PJ
01	Amended Tracing Lots 49 & 78. Added S&T J&C Elements to Lots 40, 41, 43, 44, 45, 51, 53, 55, 57, 59, 71, 73, 75, 77, 79, 80, 81, 99, 2025	PD	17/09/25	PJ
00	First Issue (Sub. of Lot 39 - Lots 78-80 Created)	AK	4/04/23	PJ

Surround Date: 19/10/2022	Survey Manager: PJ
Drawn Date: 4/04/2025	Calc/Drafted: AK
Scale (A2): 1:750	WAPC No: 162216
Hor Datum: PCG94	Vert Datum: AHD
Data File: 637222_Maddington_3_250404.acs Upload File:	
CAD File: 637222-003-001-05.dgn	
Path: V:\PROJECTS\06\6371637222\04-Spatial\Comps\Master\MASTER FOR LOT 3803 ON DP42655	



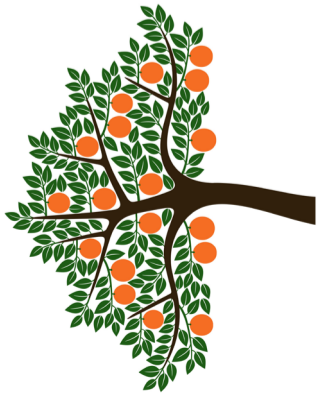
Pt No.	Easting (PCG94)	Northing (PCG94)	RL (AHD)	CODE	REMARK
8069	68582.997	253894.024	23.293	SSSM	GOSNELLS 69
8025	67527.788	253468.468	16.608	SSSM	GOSNELLS 25
9101	68326.137	253576.658	20.680	SSSTN	SPK 0.1D
9104	68280.121	253758.894	21.084	SSSTN	SPK 0.2D
9105	68008.521	253649.441	19.326	SSSTN	SPK 0.2D
9300	68132.129	253714.530	20.294	SSSTN	SPK 0.25D
9301	68158.807	253436.545		SSSTN	DSPK IN BIT
9302	67665.579	253490.012		SSSTN	SPK 0.2D
85000	68260.826	253755.860		SSSTN	DSPK IN BIT FB138763
85007	68325.824	253581.196		SSSTN	DSPK IN BIT FB138763
85011	68041.331	253590.601	20.002	SSPSM	PSM DP413890
85012	68151.922	253440.237		SSPSM	PSM DP413890
85013	67995.650	253567.474		SSSTN	DSPK IN BIT DP413890
85014	68094.535	253515.251		SSSTN	DSPK IN BIT DP413890
85015	67997.220	253659.049		SSSTN	D/H in Conc DriveWay DP413890
89005	68333.857	253576.062	20.800	SSSTN	DSPK IN BIT FB139396
89006	68299.478	253655.896	20.859	SSSTN	DPSK IN BIT FB139396
89007	68275.322	253758.156	21.188	SSSTN	DSPK IN BIT FB139396
89010	68162.039	253339.165		SSPSM	DSPK IN BIT FB139396/82385
89012	68264.225	253442.979		SSPSM	BRASS PLAQUE IN CONC
89013	68353.597	253525.089	20.545	SSSTN	DSPK IN BIT DP412699
89016	68211.149	253389.145		SSSTN	NAIL IN CONC BEAM DP412699
89111	67951.105	253544.922		SSPSM	BRASS PLAQUE IN CONC DP402613
89117	68025.294	253460.008		SSSTN	NAIL IN KERB DP402613
89118	68097.639	253382.516		SSSTN	NAIL IN CONC BEAM DP402613
89120	67900.751	253598.449		SSSTN	NAIL IN KERB DP402613
9520	68252.893	253763.920	20.935	SSSTN	SPK 0.3 BGL
9521	68305.416	253673.498	20.522	SSSTN	SPK 0.3 BGL
9503	68261.076	253537.170	20.371	SSSTN	SPK IN BIT
9504	68239.988	253601.061	21.308	SSSTN	SPK IN BIT
9509	68195.113	253714.072		SSSTN	DH IN RING



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PRECALCULATION PLAN
LOT 3103 ON DP42655
MADDINGTON ROAD, MADDINGTON

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Job No: 637222-010-013-05
Plan No: 05
Client: Terranovus



THE GROVE AT MADDINGTON



Legend

- Local Development Plan Boundary
- Existing Cadastre
- Residential
- Public Open Space
- Dwelling Orientation
- Designated Garage Location

Subject to Additional Noise Mitigation Measures

- Quiet House Design Package 'A'
- Quiet House Design Package 'B'
- Quiet House Design Package 'C'
- Quiet House Design Package 'D'

Local Development Plan

This Local Development Plan has been prepared pursuant to Clause 52 (1)(a) of the Planning and Development (Local Planning Schemes) Regulations 2015 - Schedule 2 - Deemed Provisions and the Residential Design Codes (R-Codes), and in place of a planning approval for a Single House where it meets:

- i. The Deemed-to-Comply provisions of the R-Codes, and any other alternative Deemed-to-Comply provisions contained in the City's Residential Development Policy.

General

1. The acceptable development requirements of the Residential Design Codes (as amended), and the City of Gosnells Local Planning Scheme No. 24 (as amended) and Local Planning Policies are required to be satisfied, except where this local development plan provides for variations.
2. Development approval is not required, but a Building Permit is required, for construction of a compliant dwelling on any lot within the area covered by this Local Development Plan (including lots with a land area less than 260m²).
3. Consultation with the adjoining or other landowners is not required to achieve a variation to the Residential Design Codes as provided for by this Local Development Plan.

Dwelling Design

4. Dwellings to generally be orientated as shown in this LDP through orientation of the dwelling main entrance in the direction specified.

Vehicular Access

5. Driveway access to a garage/carport for certain corner lots is to be provided as shown on this LDP
6. Driveways may be located closer than 6m to a street corner or the point at which a carriageway begins to deviate for Lots 9, 13, 25, 29, 38, 50, 61 and 62.

Noise Attenuation

7. Dwellings on lots identified in this LDP as being 'subject to additional noise mitigation measures' are to be constructed in accordance with the Western Australian Planning Commission's State Planning Policy 5.4 - Road and Rail Noise 'Quiet House Design Package' specifications for Package Type (A - D), as per the Noise Management Plan prepared by Herring Storer Acoustics (dated 20 July 2022 Rev 2.0), unless varied otherwise and approved by the City. Two storey development may be subject to further acoustic and associated requirements.

Approval

Pursuant to Clause 52(1)(a) of the Planning and Development (Local Planning Schemes) Regulations 2015 - Schedule 2 - Deemed Provisions this Local Development Plan is hereby approved



Coordinator Planning:

Date: 20/11/2025



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Staff: JP, GW, JK Checked: JP

File: 23-412 LDP-1

Scale: 1:1500 @ A3

1:750 @ A1

Date: 3 Oct 2025

Local Development Plan

Lots 2 (227), 103 (235) and 126 (219) Maddington Road, Maddington